



## ***Uncertified Building Application Checklist (Class 10A)***

**Non-habitable buildings** *(ie. Carports, shed, patio or other structures)*

Lot \_\_\_\_\_ House No \_\_\_\_\_ Street \_\_\_\_\_  
Suburb \_\_\_\_\_ Postcode \_\_\_\_\_

*Note : Planning Approval may be required for the proposed works prior to the submission of a Building Permit Application. Please contact our Planning department to discuss these options prior to lodgement.*

*Please tick all relevant boxes to acknowledge submission of documentation*

### **Lodgement Method**

Office use only

- Email lodgement Via mail@coolgardie.wa.gov.au
- By Post via PO BOX 138, Kambalda WA 6442 - **1x Hard Copy of all documents submitted**
- In person Kambalda Recreation Centre 7 Irish Mulga Drive Kambalda or Coolgardie Recreation Centre 69 Sylvester Street Coolgardie 6429 **1x Hard Copy of all documents submitted**



All applications via email & post must contain completed checklist with all relevant documents (listed in pdf format for email correspondence). Any application that is submitted incomplete will require further correspondence and may delay the approval process. Printing fees may apply to some applications.

### **Information Required**

#### *Application Form*

Complete, signed and dated. Email Address must be listed for Applicant, Owner(s) and Builder for issuing of permit via electronic communication. *(if not supplied and hard copy is required fees may apply)*

- Completed BA2 Application form



#### *If works estimated at over \$20,000*

- Building Commission Owner Builder Approval Letter
- Registered Builder Registration Number provided on application form.
- Home Indemnity Insurance
- BCITF Training Fund Levy Paid, applicant must provide receipt if paid online



#### *Site Plans (x1)*

Plans must be set at scale of 1:200, showing:

- North Point.
- Full extent of lot boundaries/ site.



- Clearly identify between all existing and proposed buildings, structures, retaining walls and features
- Fully dimension buildings, structures and setback distances to lot boundaries. (*Note: A fire separation/ setback from a lot boundary for an unprotected walls is 900mm otherwise a fire resistant wall with a 60/60/60 Fire Resistant Level must be provided*).
- Contours/ Levels including existing & proposed finished floor levels etc.
- Proposed stormwater dispersal
- Existing vehicular access/ proposed access including crossover, kerbs, footpaths, trees, etc.
- Location of Cities sewer, connection point or position of effluent disposal system. To confirm adequate clearance of 1.5m away from CKB sewer line.

*Detailed Plans (x1)*

Plans must be set at scale of 1:100, showing:

- Fully detailed Footings design drawings of the substructure suitable for local soil conditions – certified/ signed by structural engineer.
- General arrangement floor plans existing & proposed as required, fully dimensioned clearly showing doors, windows, room names and fitout if applicable, etc.
- Detail structural drawings of the superstructure/ Wall/roof frame/ tie downs and wall bracings details– certified/ signed by structural engineer.
- Full elevation drawings.
- Detailed cross section fully dimensioned showing heights of eaves, ceilings and ridges, spans, roof pitch etc.

*Specification/Material*

- Clearly identify Specification/ Types of materials used etc.
- All other information not shown on the drawings, which is necessary to show that the building will, if constructed in accordance with specifications, complies with the provisions of the current Building Code of Australia (BCA) and Australian Standards

*Structural Engineer Details*

- Plans, details and specifications for footings, walls, retaining walls and structure, must be certified by a practicing Structural Engineer and must include original signed copy from engineer.
- Structural Engineers Certification for structural tie down details

*Bush Fire Prone Area*

- Building not in a bush fire area.
- Does Not Apply Estimated Value Under \$20,000.
- Does Not Increase risk of bushfire attack for relevant building.
- Bushfire attack level (BAL) assessment.
- Designed in accordance with AS 3959 Construction of Building in Bushfire Prone Area.

*Planning*

- Planning Approval (if applicable)
- Heritage approval (if applicable)

*Easements and Restrictive Covenants*

- It is recommended that **YOU** check the Certificate of Title to ascertain whether the property has any easements or restrictive covenants before submitting you building application

Meeting this checklist does not guarantee Building Approval, and is intended as guide only in our application.

**Declaration by Applicant**

I have read, and understood the checklist and provided documentation for this application consistent with the aims and provisions of the guide. I understand that further information may be required in regards to my application and failure to provide all information required by the building department will result in a delay with the processing of my application until the required documentation is provided in full.

- I acknowledge that all correspondence including the approved building permit with attached approved plans will be issued to me through my nominated email address and will advise the owner and Builder (if not applicant) that they will receive a copy of the approved Building permit via electronic communication.

**OR**

- I do not wish to receive correspondence or my Approved Building Permit via electronic communication and accept the fees and charges applied by the City of Kalgoorlie Boulder to send all correspondence and Building permit via post. I acknowledge that this process may mean a delay in the processing time of my application.

**Applicant Name** \_\_\_\_\_

**Applicants Signature** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Office Use Only**

**Officer Signature** \_\_\_\_\_ **Date:** \_\_\_\_\_ **A** \_\_\_\_\_

**COMMENTS:**

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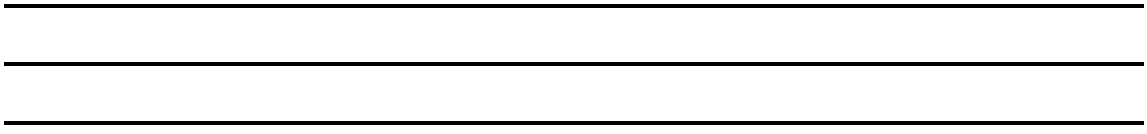
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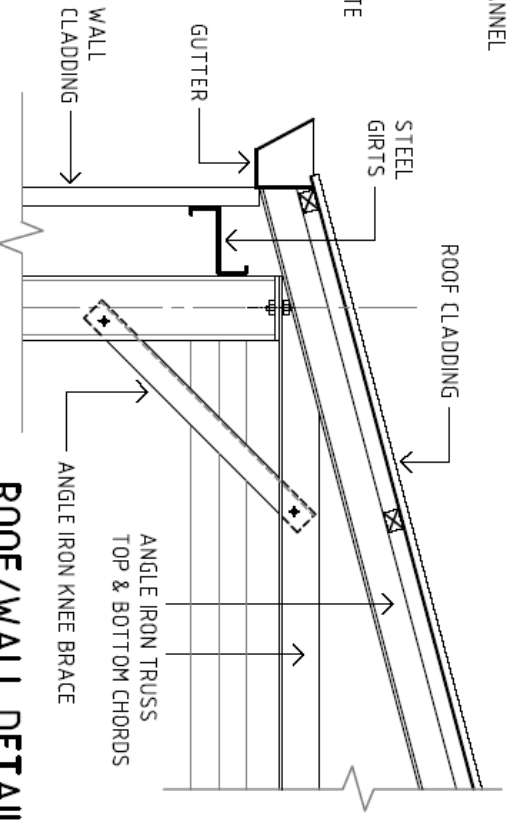
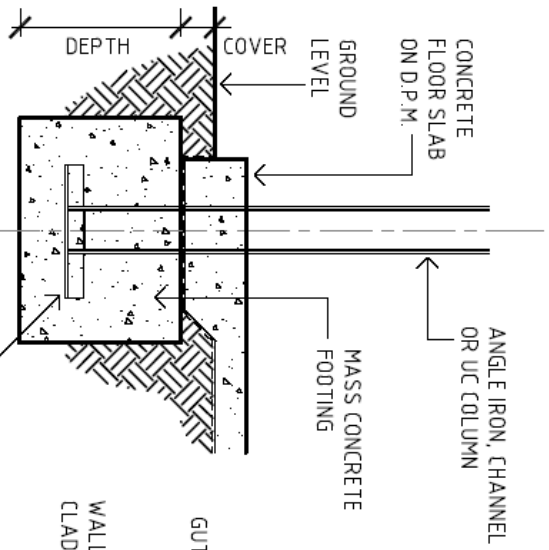
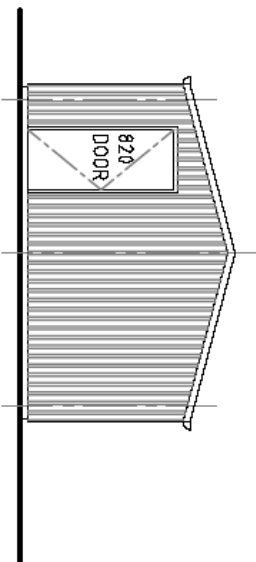
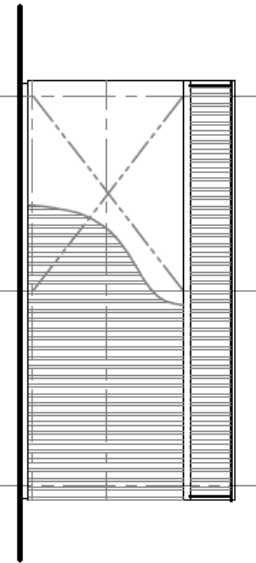
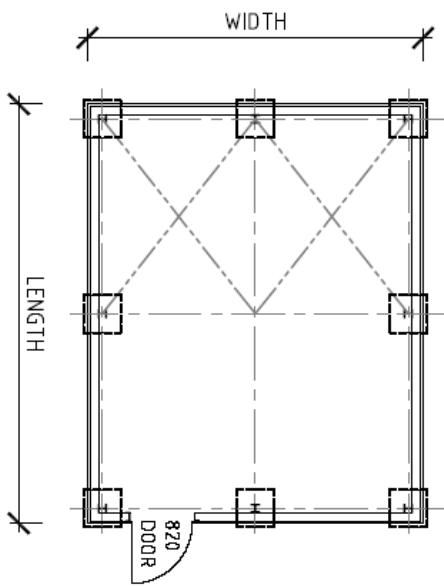
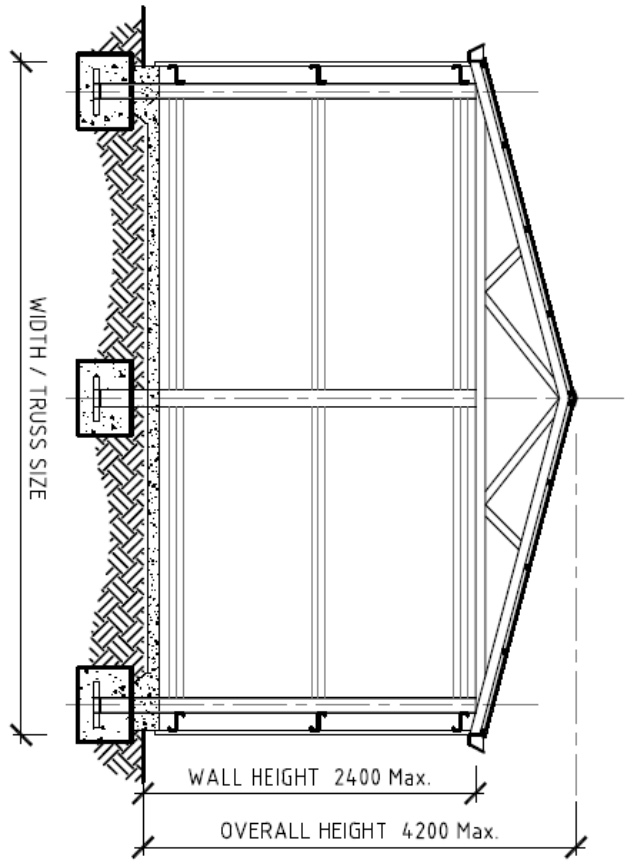
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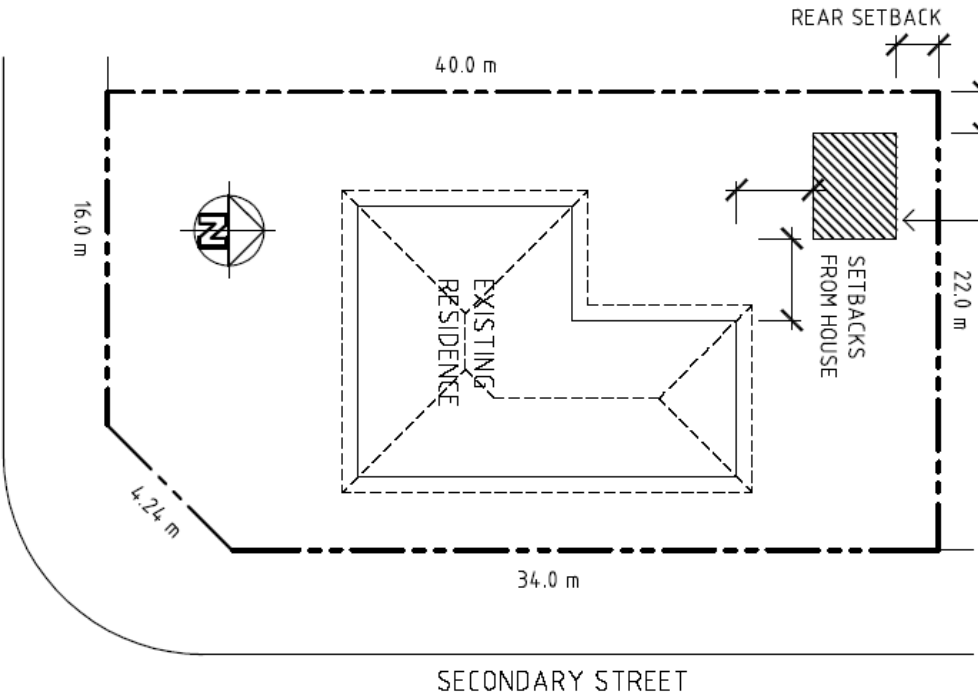
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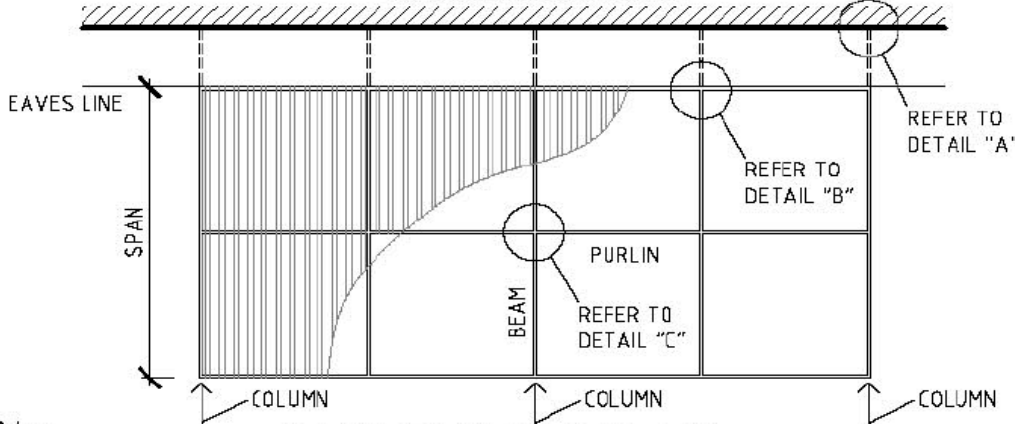




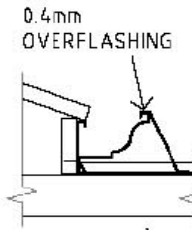
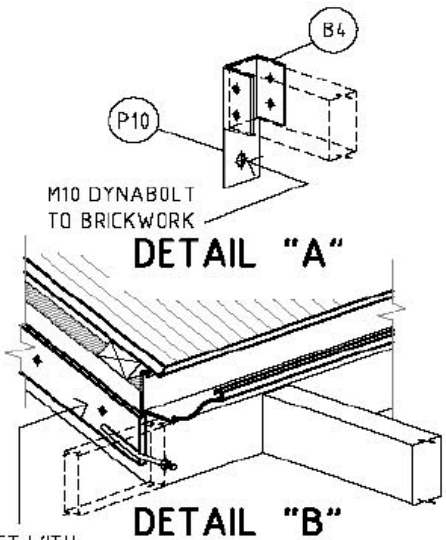
NOTE: EXAMPLE COPY ONLY



**EXISTING RESIDENCE**

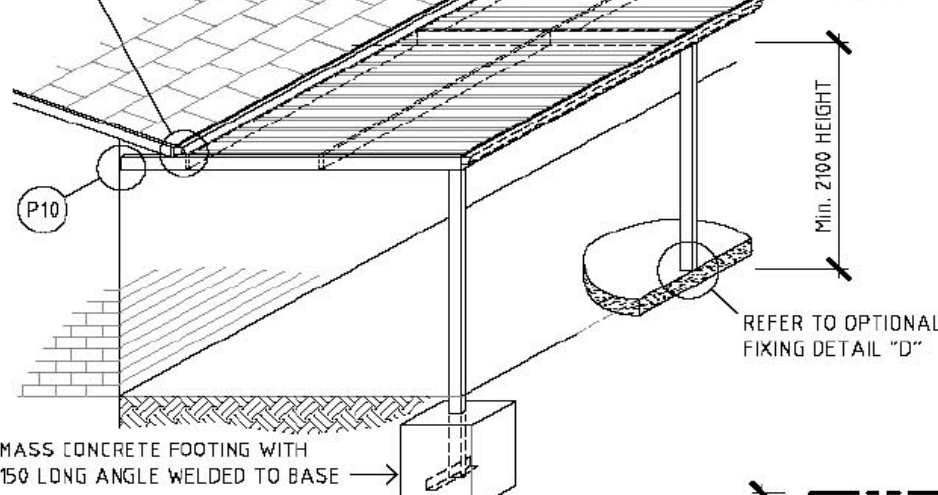


**ROOF FRAMING PLAN**

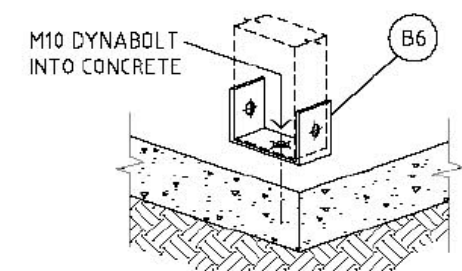
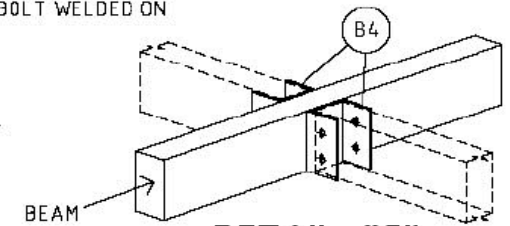


50 EQ. ANGLE. FIX TO EXISTING FASCIA

ROOF SHEETING  
OPTIONAL GUTTER



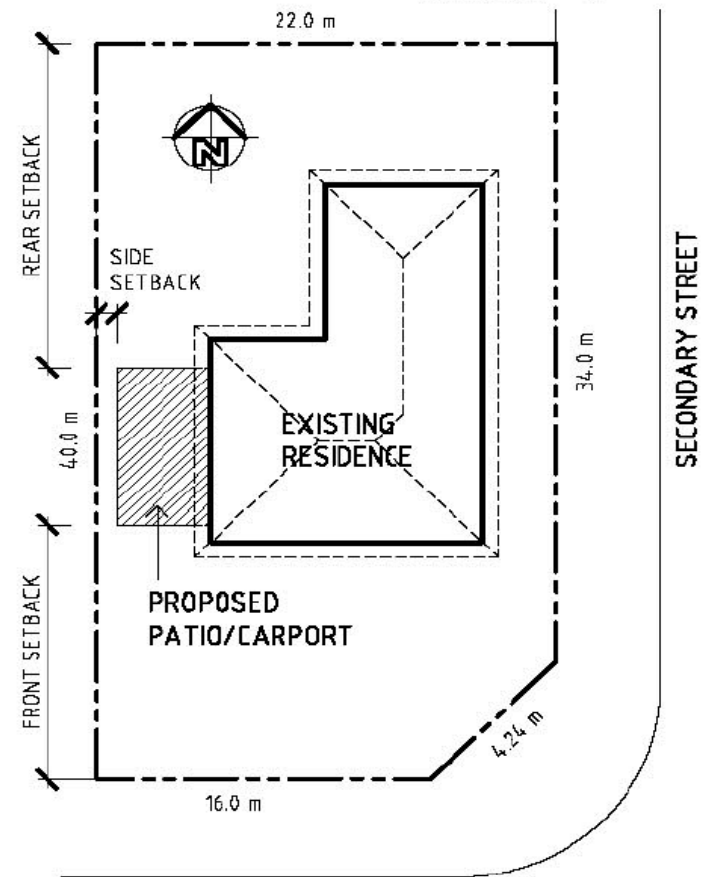
**ELEVATION**



**DETAIL "D"**

**SPECIFICATIONS**

- COLUMNS:** 76 x 38 x 1.6 RHS FOR MAXIMUM 3000mm HEIGHT.
- BEAMS:** 76 x 38 x 1.6 RHS FOR MAXIMUM SPAN OF 3700mm. 100 x 50 x 2.3 RHS FOR MAXIMUM SPAN OF 6000mm.
- FOOTINGS:** COLUMN CAST 450 INTO 450 x 450 x 600 MASS CONCRETE. OPTIONAL M10 DYNABOLT TO EXISTING CONCRETE.
- DESIGN:** REGION "A" T.C.3 AS PER AS1170 Pt.2.
- ROOF DECK:** ROOF SHEETING DESIGNED & INSTALLED IN ACCORDANCE WITH AS1562.1-1992.
- FLASHINGS:** GUTTERS & DOWNPIPES TO MANUFACTURERS SPECS. SILICONE SEALED.
- BRACKETS:** B4 BEAM BRACKET: Ex. 1.6 GALV.  
B6 BASE PLATE: Ex. 1.6 GALV.  
P10 WALL PLATE: Ex. 1.6 GALV.



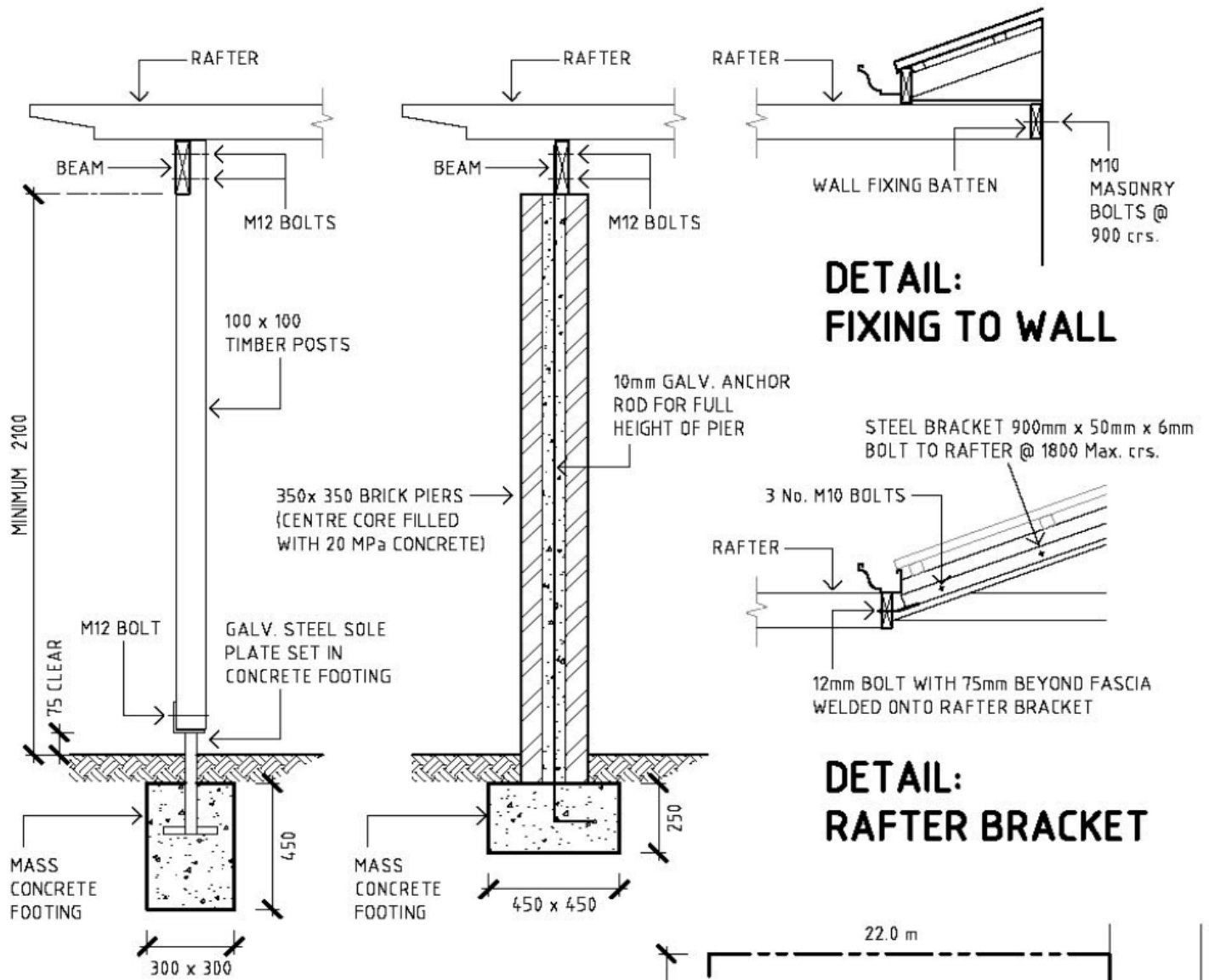
PRIMARY STREET

SECONDARY STREET

**SITE PLAN**

1:200

**NOTE: EXAMPLE COPY ONLY**

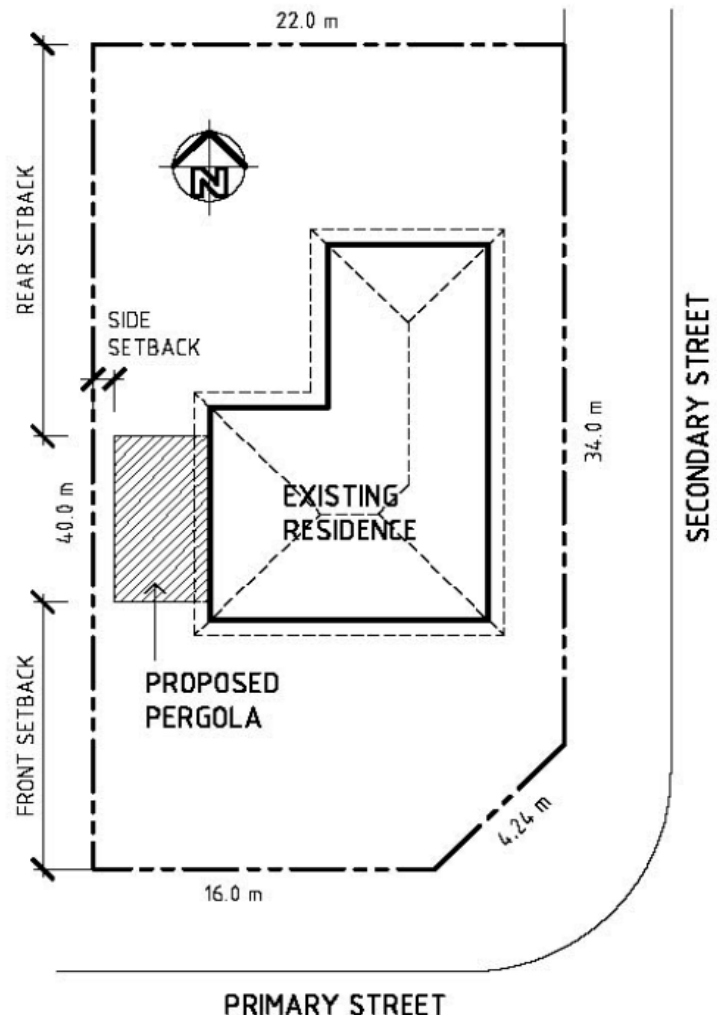


### MGP 10 - SEASONED SOFTWOOD

POSTS			RAFTERS		
	SPACING	SIZE	SPACING	SPAN	SIZE
	3000	90 x 90			
BEAMS			900	3000	140 x 35
RAFTER SPAN	BEAM SPAN	SIZE	3600		170 x 35
1800	3000	190 x 35	4800		240 x 35
3000	3000	190 x 45		1200	3000
4800	3000	240 x 45		3600	170 x 45
				4800	240 x 45

### F8 HARDWOOD

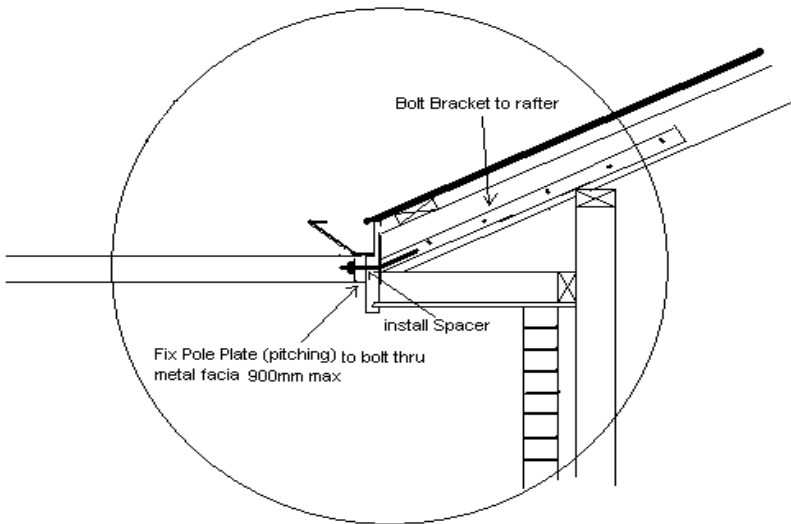
POSTS			RAFTERS		
	SPACING	SIZE	SPACING	SPAN	SIZE
	3000	100 x 100			
BEAMS			900	3000	175 x 50
RAFTER SPAN	BEAM SPAN	SIZE	3600		200 x 50
1800	3000	225 x 50	4800		275 x 50
3000	3000	250 x 50		1200	3000
4800	3000	250 x 75		3600	200 x 50
				4800	275 x 50



**NOTE: EXAMPLE COPY ONLY**

**SITE PLAN 1:200**

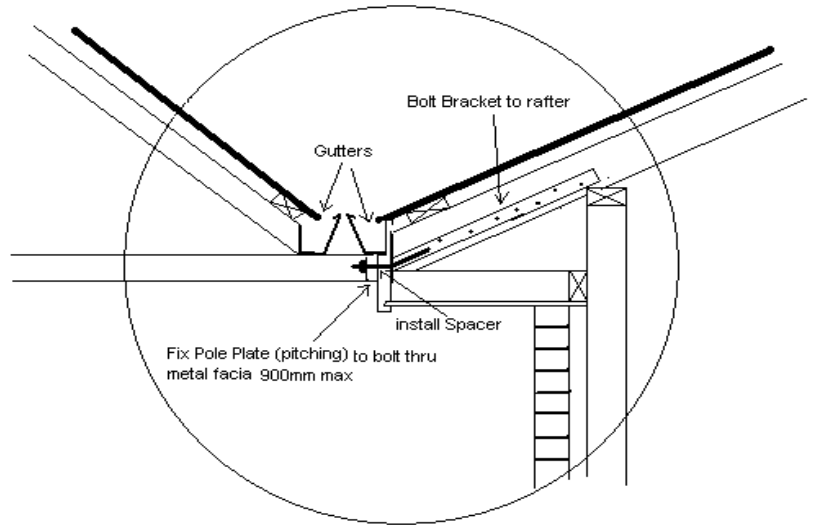
FLAT ROOF PATIO



NOTE : Ensure gutter is large enough to prevent water from backing up and overflowing into boxed eaves and running into cavity

**Standard Attachment Detail (for Patios) - Type 1**

PITCHED ROOF 2 GUTTERS

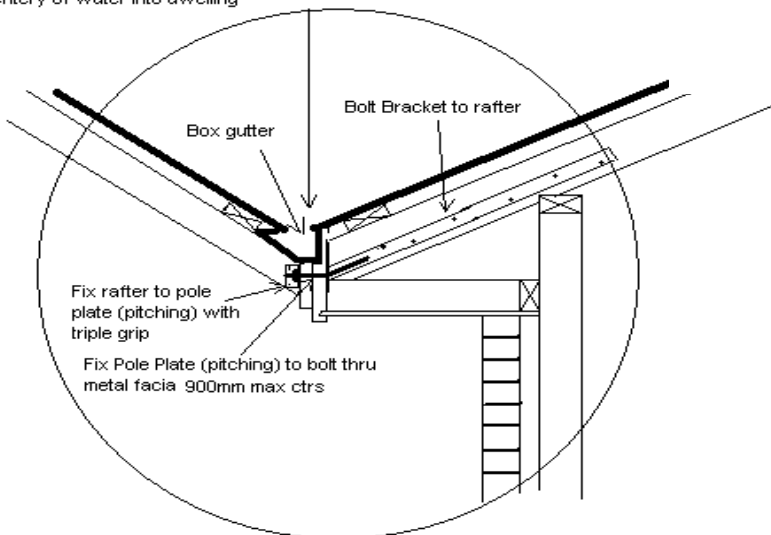


NOTE : Ensure gutter is large enough to prevent water from backing up and overflowing into boxed eaves and running into cavity

**Standard Attachment Detail (for Patio) - Type 2**

PITCHED ROOF 1 GUTTER

Note : Ensure gutter is large enough to collect water from both roofs to prevent entry of water into dwelling



**Standard Attachment Detail (for Patio) - Type 3**