

### What are Repurposed dwellings and Second-hand Dwellings?

The Shire Local planning Scheme defines various type or residential dwellings as follows

Dwelling Type	Definitions	Landuse Permissibility
<ul style="list-style-type: none"> <li>Repurposed Dwellings as</li> </ul>	<p>A building or structure not previously used as a single house, which has been repurposed for use as a dwelling.</p> <p>This classification includes the repurposing of Dongas and Sea-Containers into residential dwellings</p>	Discretionary
<ul style="list-style-type: none"> <li>Second-hand Dwelling</li> </ul>	<p>A dwelling that has been in a different location, and has been dismantled and transported to another location, but does not include a new modular or transportable dwelling.</p>	Discretionary

The Residential Planning Codes (R-Codes) is a State Planning document that details the development controls that apply to all residential dwellings.

A full copy of the R-Codes is available on the Shire Website: [www.coolgardie.wa.gov.au](http://www.coolgardie.wa.gov.au) or Department of Planning, Lands and Heritage website at [www.dplh.wa.gov.au](http://www.dplh.wa.gov.au)

### Do I need Planning approval?

**Yes:** planning approval is required for all repurposed dwellings (including sea-contain and donga homes) and second-hand dwellings

The planning matters relating to these types of dwellings, include the following: -

- Appearance and street elevation, and associated modification and enhancements to ensure the proposed dwelling includes: -
  - Exterior Design incorporates street facing windows, front door, verandah, roof and
  - Exterior façade, materials and finishes including front fencing is
  - Interior includes all elements of a dwellings as defined in the planning, buildings and health provision (living rooms, bedroom, bathroom, kitchen, laundry) within the dwelling.
- Compliance with the R-Codes provisions such as setbacks, size, access, parking, streetscape appearance.
- The Shire may impose a condition requiring some form of financial bond ensuring exterior and Façade works are completed in a timely manner.

### Does my home have to be connected to services?

Yes. All dwellings building in the residential area will need to be connected to reticulated water, power and sewer.

### Can I use second-hand materials?

The use of second-hand cladding materials and second hand and repurposed buildings can result in unacceptable development by reason of poor aesthetic result and by adversely affecting the amenity of an area.

The Shire requires that an applicant demonstrate that the proposed use of a second hand or repurposed building and/or the use of second-hand cladding material will not result in any adverse effect on the amenity or the aesthetics of the area within which it is proposed.

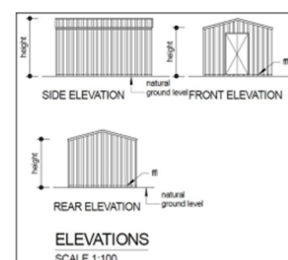
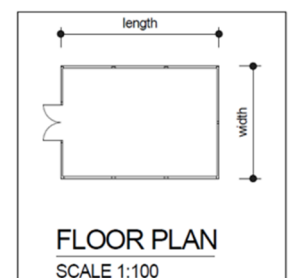
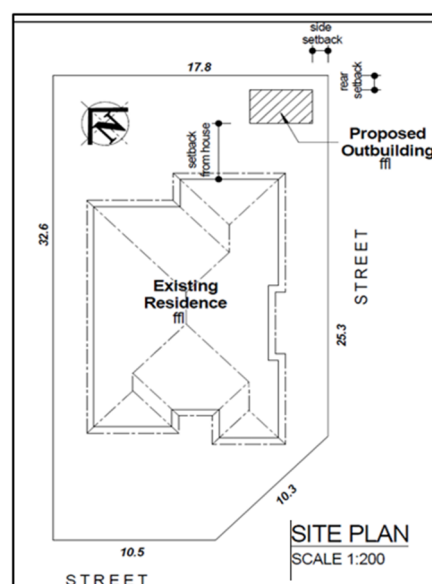
Buildings (and materials) that are second hand or repurposed are, in some instances, of poor condition and as such the Shire may impose conditions to ensure the building presentation is of an acceptable standard to enhance the streetscape appearance.

Such conditions may include (but are not limited to) the following:

- A bond and agreement to ensure the external appearance of the development has been completed to the approval of the Local Government.
- The space between the ground level and the floor level being suitably enclosed.
- The roof and/or walls being re-clad in materials and colours, and/or re-painted in colours, that are consistent or complementary in colour with the surrounding townscape desired streetscape.
- The required works are to be completed within a specified time frame to ensure the building presentation is of an acceptable standard.

### Planning Application Requirements

- 1) Completed Planning Application Form - Signed by each owner of the property. This can be downloaded from the Shire website.
- 2) Completed checklist – Development (Planning) Application checklist – Outbuilding.
- 3) Planning Application Fee payable
- 4) Site plan (Scale 1:100 or 1:200 showing: North Point, Lot boundaries and existing structures on the lot).
- 5) Floor plan and elevations (Scale 1:100): these plans need to demonstrate any proposed works/upgrades that are required to be undertaken to the building (i.e. new cladding, extension works, additional verandahs etc.) to ensure the building's presentation is of an acceptable standard to that of the locality.
- 6) Elevation Plans – Scale 1:100 showing front, side and rear elevations showing height, natural ground levels, and dimensions.
- 7) photographs of each elevation of the building that clearly illustrate the in-situ condition and appearance of the entire building
- 8) a clear timeframe for the completion of the above works, with such timeframe
- 9) to be as short as practicable and a maximum of 12 months.
- 10) Any other supporting details or report.



### Will I need a Building permit?

**YES:** A building permit is required for all repurposed and second-hand dwellings.

### Building Permit Requirements?

Building permit application forms (certified or uncertified) are available from the Department of Mines, Industry Regulation and Safety (DMIRS)'s website at [commerce.wa.gov.au/building-commission](https://commerce.wa.gov.au/building-commission).

The following information will be required as part of an application for a building permit.

- Certified:
  - Completed and signed BA1 Application for Building Permit – Certified.
  - Completed and signed BA3 Certificate of Design Compliance.
  - Completed and signed Certified Building Application Checklist.
  - Payment of the building application fee - Shire's Schedule of Fees and Charges.
- Uncertified:
  - Completed and signed BA2 – Application for Building Permit – Uncertified.
  - Completed and signed Uncertified Building Application Checklist – Outbuilding i.e. Garage, Shed or similar (Class 10a).
  - Payment of the building application fee - Shire's Schedule of Fees and Charges.

### Site details

Information on your property, lot sizes, dimensions and recent aerial imagery is available from:-

- Shire's website – public mapping
- Landgate Viewer Plus map

### Further information.

For further information please visit the Shire's website at [coolgardie.wa.gov.au](https://coolgardie.wa.gov.au) or visit the Shires Customer Service Counters at the Coolgardie and Kambalda Recreation Centre or by phoning the Development Services on 9080 2111 or email ([planning@coolgardie.wa.gov.au](mailto:planning@coolgardie.wa.gov.au))