

# **SHIRE OF COOLGARDIE**

## **Local Planning Scheme No 5 Scheme Amendment No 6**

February 2022

FORM 2A

**PLANNING AND DEVELOPMENT ACT 2005  
RESOLUTION DECIDING TO AMEND TO LOCAL PLANNING SCHEME  
SHIRE OF COOLGARDIE LOCAL PLANNING SCHEME NO 5  
AMENDMENT NO 6**

Resolved that the local government pursuant to section 75 of the Planning and Development Act 2005, amend the above Local Planning Scheme by

1. Rezoning:

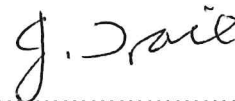
- Lot 1501 Gum Nut Place and from Public Purpose to Commercial
- Lot 561 Bluebush Road from Public Purpose to Commercial
- Lot 562 Salmon Gum Road, from Special Use and Public Open Space to Commercial

2. Amending the Scheme Map accordingly

The amendment is considered to be “standard” under the provisions of the Planning and Development (local Planning Schemes) Regulations 2015, on the basis of the following: -

- The amendment relates to a zone that is consistent with the objectives identified in the Scheme
- The amendment is consistent with the endorsed local planning strategy.
- The amendment will have minimal impact on land in the scheme that is not the subject of the amendment
- The amendment does not result in any significant environmental, social, economic or governance impacts on land within the scheme area.

Dated the 28 Day  
of March 2022



CHIEF EXECUTIVE OFFICER

## PROPOSAL TO AMEND A TOWN PLANNING SCHEME

### 1 INTRODUCTION

This proposal is to rezone

- Lot 1501 Gum Nut Place and from Public Purpose to Commercial
- Lot 561 Bluebush Road from Public Purpose to Commercial
- Lot 562 Salmon Gum Road, from Special Use and Public Open Space to Commercial

This report: -

- examines the surrounding site characteristics and suitability of the additional uses,
- considers the merits of the amendment in the context of the Shires strategic vision, and sustainability of the townsite, and
- provides justification for the proposed Scheme Amendment.

The Shire of Coolgardie seeks the support of the Western Australian Planning Commission (WAPC) and approval from the Minister for Planning to rezone:-

- Lot 1501 Gum Nut Place and from Public Purpose to Commercial
- Lot 561 Bluebush Road from Public Purpose to Commercial
- Lot 562 Salmon Gum Road, from Special Use and Public Open Space to Commercial

This amendment is considered to be a “standard amendment” as defined under Regulation 34 of the Planning and Development (Local Planning Scheme) Regulations 2015 because it is consistent with the local planning strategy for the Scheme which has been endorsed by the Commission and is not classified as a complex or basic amendment



## 2 BACKGROUND

### 2.1 Site

The sites the subject of this Scheme amendment, comprise:-

- Lot 1501 Gum Nut Place
- Lot 561 Bluebush Road
- Lot 562 Salmon Gum Road

The subject location is surrounded by Gum Nut Place, Bluebush Road, Trigona Place and Salmon Gum Road as shown on Figure 1 and 2. A small section of the site, facing Salmon Gum Road, contains existing aged person housing.

The Shire has identified the site as a suitable location to facilitate a range of uses, including higher density residential, temporary accommodation workforce accommodation and commercial activities., as part of the Shires Strategic objectives to encourage and support growth and sustainability of the town centre of Kambalda West.



Figure 1 - Location Map



Figure 2 - Aerial



## 2.2 Context – Regional

The site centrally located within the Southern Goldfield region and is a considerable distance from other townsites. The closed Regional Centre is Kalgoorlie located 55km north of Kambalda. The townsite of Coolgardie is 75km northwest and Norseman is located 135km to the south, as shown in Figure 3.

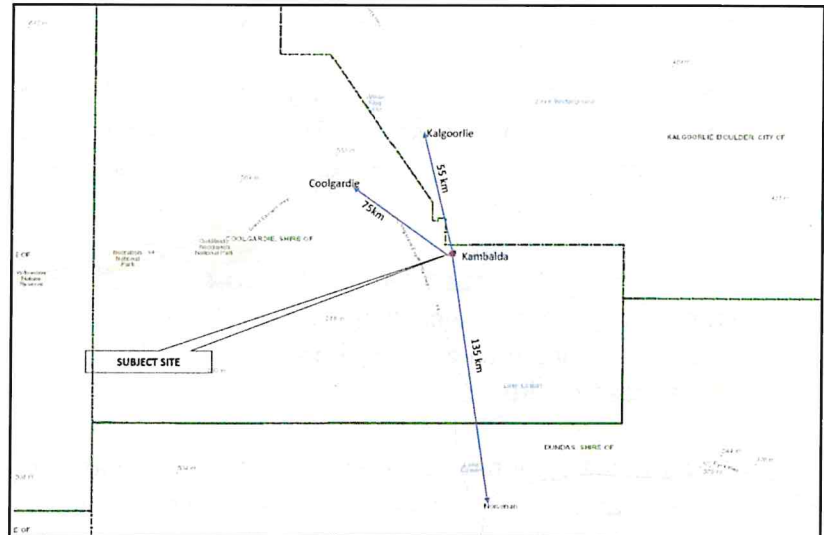
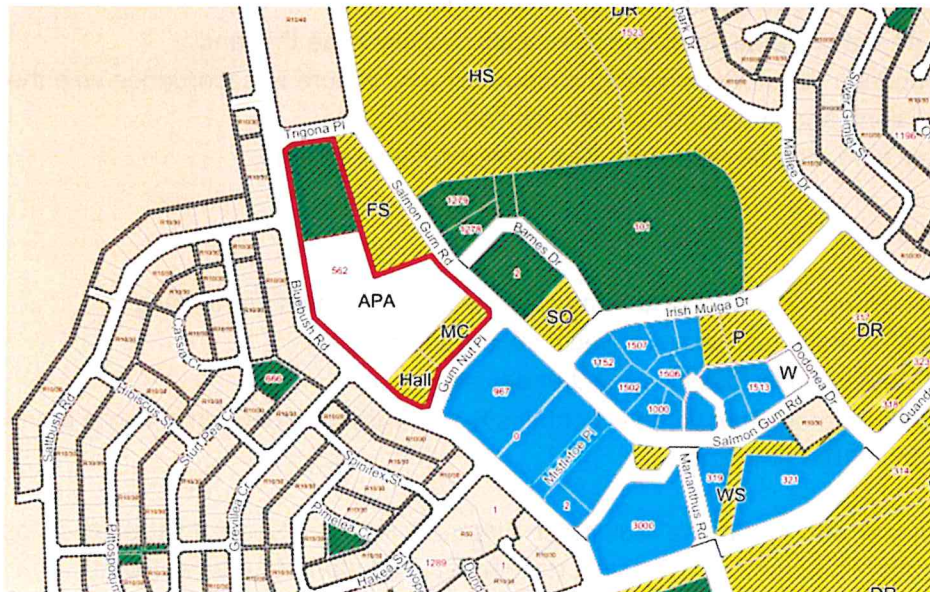


Figure 3 - Regional Context

## 2.3 Context – Local

The site adjoins the existing commercial zoned sites and opposite the recreation and civic precinct. The intent of centralising intensive residential accommodation creates wider benefits within the townsite including social, recreational, entertainment and economic opportunities.



• Figure 4 – Local Context

The proposed rezoning reflects the site location and provide flexibility for a range of uses to facilitate the intensification of the development within the townsite, delivering economic, employment, lifestyle and social benefits.

The Shire has been progressively and consistently been taking actions to create opportunities for development within the townsite. The objectives contained within the Scheme and Local Planning Strategies, aim to develop, and enhance the amenity and economic prosperity of the Shire and facilitate development.

The site is undeveloped land in the core of Kambalda West Townsite, with a mix of uses surrounding the site, including residential, commercial, civic, recreation and medical facilities. Appropriately integrated workforce accommodation facility has the potential to support the growth of the urban centre.

This scheme amendment proposes to rezone the site to commercial zoning to: -

- Facilitate a range of commercial and residential uses that enhance the town centre
- Make use of the size and location to provide development that services the long-term benefit of the Shire and its community
- Make use of the existing infrastructure to better meet the need of the community
- Facilitate greater use of an underutilised site
- 

With regard to State Planning Policy - SPP 3.7 Planning in Bush Fire Prone Areas. Any redevelopment of the site will be subject to appropriate controls as part of the planning and building requirements.

The Shire is proposing to commence the process to: -

- initiate the Scheme amendment to appropriately zone the land
- commence statutory actions to change the land tenure in accordance with the legislative provisions and in discussion with relevant agencies.
- investigate land development and servicing requirements.

## 2.4 Current and Surrounding Land uses

The sites comprising this amendment have limited development comprising: -

- Lot 1501 Gum Nut Place - medical centre and carpark
- Lot 561 Bluebush Road – vacant undeveloped site
- Lot 562 Salmon Gum Road – contains 6-unit aged persons units, being development on less than 10% of the site.

The site adjoins the Kambalda Volunteer Fire and Rescue Service facility, is opposite the Kambalda Hotel on Gum Nut Place with residential uses along Bluebush Road.

The site is underused land within the centre of Kambalda West town.



## 2.5 Site History

In July 2021 the Council initiated changes to the tenure and Management Order over the site to support the town growth via various civic, commercial and community uses, including residential and workers accommodation.

In September 2021 Shire representatives facilitated a site inspection and planning session with officer of DPLH to discuss challenges and opportunities regarding the growth of the townsite. A key challenge for the Shire is maximising the development opportunities on site within the townsite to plan and effectively manage development, including individual and cumulative impacts the create benefits realised for both the community, industry proponents, and industry workforces. The following statements provide the Town's policy position when considering proposals for workforce accommodation. The focus of the rezoning is to establish a commercial zone rather than a Special Use or Mixed-Use zone given consistent with the Local Planning Strategy and maximises development intensity and scale in the core townsite area.





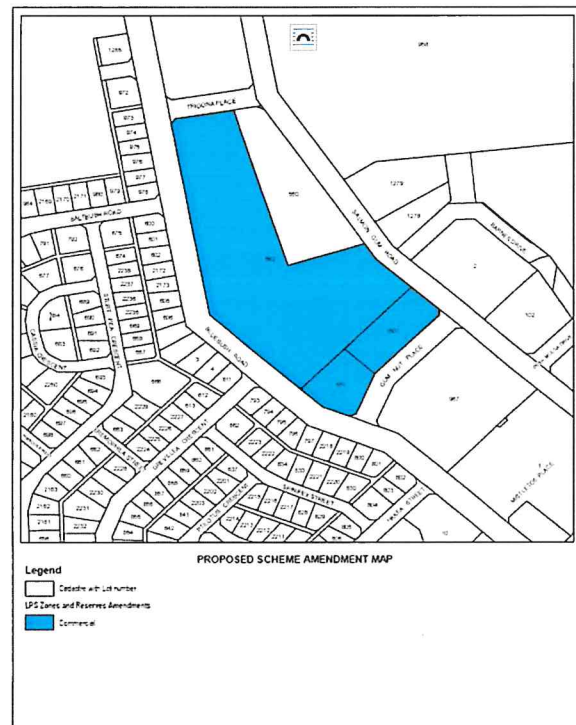
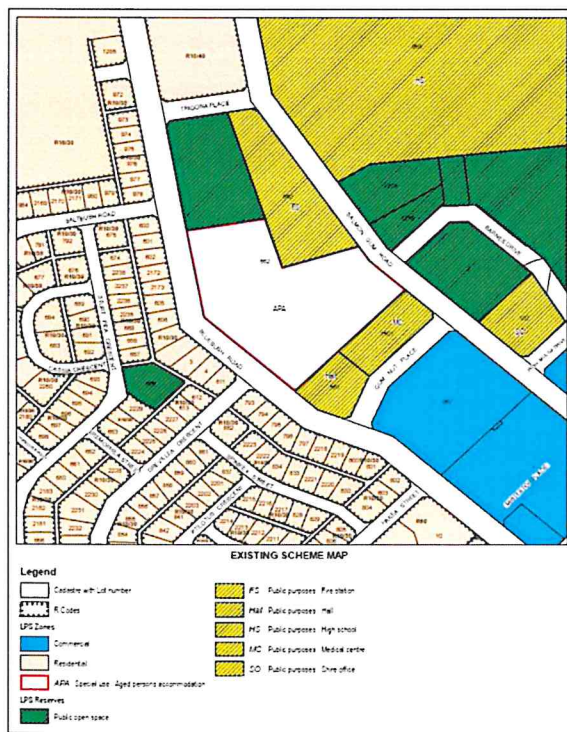
### 3 PROPOSED AMENDMENT

#### 3.1 Amendment Details

The proposed amendment is to rezone

- Lot 1501 Gum Nut Place and from Public Purpose to Commercial
- Lot 561 Bluebush Road from Public Purpose to Commercial
- Lot 562 Salmon Gum Road, from Special Use and Public Open Space to Commercial

The amendment relates to a zone that is consistent with the objectives identified in the Scheme, that will have minimal impact on land in the scheme that is not the subject of the amendment. The amendment does not result in any significant environmental, social, economic or governance impacts on land within the scheme area.





## 4 PLANNING FRAMEWORK

This scheme amendment is consistent with State, Regional and Local Planning framework. A summary for relevant planning documents is listed below.

### 4.1 State Planning Framework

The State Planning framework is the basis for co-ordinating and promoting land use planning, transport and development in a sustainable manner.

#### 4.1.1 State Planning Strategy 2050

The Strategy seeks to build planning capacity and capability around the State planning vision. The plan sets a broad strategy for sustained growth and prosperity. The strategy places a priority on economic and population growth as the key drivers of land use and land development, which includes promoting sustainability of Regional Townsites, vibrant activities and supports zoning sufficient land for residential, commercial and tourism.

#### 4.1.2 State Planning Policy 1.1 – State Planning Framework (2017)

This Policy Identifies that the primary aim of planning is to provide for the sustainable use and development of land. The general principles of the policy include: -

- Anticipate and respond to the needs of existing and future communities through the provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities
- providing suitable zoned and serviced land for industry, business and other employment and wealth generating activities
- allow regional centres to capture investment to create and sustain growth, cognisant of the implications and sustainable management of various development options.

Local Governments must have due regard to the provision of the framework in preparing schemes. This amendment is consistent with these strategic provisions.

#### 4.1.3 State Planning Policy 3.0 - Urban Growth and Settlement (2006)

The Policy sets out the principles and considerations which apply for urban growth and settlement in Western Australia. The Policy promotes a sustainable settlement pattern, promoting development on 'brownfield' (previously developed) land, supports building on existing communities and seeks convenient access to employment and services. The key requirements for sustainable communities include: -

- diversified and sustainable economic base with assured access to jobs and employment
- making the most efficient use of land in existing urban areas through the use of vacant and under-utilised land and buildings.



This Amendment is consistent with SPP 3 given the site forms part of the town centre and provides opportunities for sustainable economic base.

#### 4.1.4 State Planning Policy 3.7 – Planning in Bushfire Prone Areas (2105)

The site currently contains existing building for aged accommodation with vehicle access to each property on Salmon Gum Road. Additional development of the site will be subject to the compliance with the provisions of the SPP3.7. The site is within the Kambalda townsite.

#### 4.1.5 State Planning Policy 5.4 – Road and Rail Noise (2019)

The site is surrounded by Gum Nut Place, Bluebush Road, Trigona Place and Salmon gum Road. At present the site is used for aged accommodation and vacant land. Any development changes to the site will include consideration of the design and location of any noise sensitive activities. This amendment seeks to provide for commercial uses and other high order activities that are make best use of the site location.

#### 4.1.6 State Planning Policy 3.0 – Urban Growth and Settlement.

State Planning Policy 3.0 - Urban Growth and Settlement, sets out the principles and considerations which apply for urban growth and settlement in Western Australia. The Policy promotes a sustainable settlement pattern, promoting development on 'brownfield' (previously developed) land, supports building on existing communities and seeks convenient access to employment and services. The key requirements for sustainable communities include: -

- diversified and sustainable economic base with assured access to jobs and employment
- making the most efficient use of land in existing urban areas using vacant and under-utilised land and building.

#### 4.1.7 Position Statement – Workforce Accommodation (DPLH, 2018)

The Position Statement provides direction on the location of workforce accommodation and guidance to local governments.

In terms of location consideration, the Statement

- identifies that where practicable, workforce accommodation should be provided in established towns, in locations suitable to its context, to facilitate their ongoing sustainability.
- Supports the inclusion in the local planning strategy could acknowledge that workforce accommodation is economically critical infrastructure that may be required in a very short timeframe, and therefore flexibility will be required.





## 4.2 Regional Planning Framework

The regional planning documents assist in the strategic planning and coordination of major infrastructure and other key land requirements.

### 4.2.1 Goldfields–Esperance Regional Planning Strategy (WAPC, 2000)

This strategy recognised that the mining industry is the principal economic base for much of the region and the distribution of existing mines, future mines and downstream processing projects has a significant influence on the region's infrastructure requirements. Many towns in the region are dependent and constrained by mining activities. The growth and development of the region and the major regional centres is constrained by the availability of land for infrastructure and growth, that is not subject to mineralisation.

The vision includes the creating a region with diverse and vibrant economy, offering an attractive lifestyle with a range of services and recreational opportunities, while embracing environmental principles.

To achieve growth as outlined in the strategy and promote the provision of services in major or sub-regional centres, the Shire has been working collaboratively with the Sector and is focusing improvement of regional infrastructure into intensification of the existing townsite land to provide community stability.

### 4.2.2 Goldfield – Esperance Regional Planning and Infrastructure Framework 2015

This Goldfields-Esperance regional planning and infrastructure framework provides the overall strategic context for land-use planning in the Goldfields-Esperance area. This framework recognised the significance of future growth in the Goldfields–Esperance region, and the broader state economy. Planning for land assembly and infrastructure to meet the needs of the economic drivers, needs to be done in such a way so that land is available and affordable.

Growth in the region's economy and providing for the additional workers is necessary for continued economic success. The Framework recognises the importance that towns throughout the Goldfields–Esperance region have sufficient land to cater for ancillary service industries that support primary industries, including mining and agriculture, and that this issue is most appropriately dealt with through local planning processes, in particular local planning strategies. To achieve growth in Kambalda West townsite, the Shire is focusing on intensification of the existing townsite land to provide community stability.





## 5 LOCAL PLANNING FRAMEWORK

The site forms part of the Kambalda West town centre shows the Opportunities and Constraints Plan which outlines the site's context. Further details on the suitability of the commercial zoning are outlined in this report.

### 5.1 Shire of Coolgardie – Local Planning Strategy 2016

The Shires Local Planning Strategy was endorsed by WAPC in October 2016. This plan provides a guide for the Council over the next 10-15 years and includes setting put the future path for growth and development. It includes the local government objectives relating to future planning and development and includes a broad strategic framework to pursue those objectives

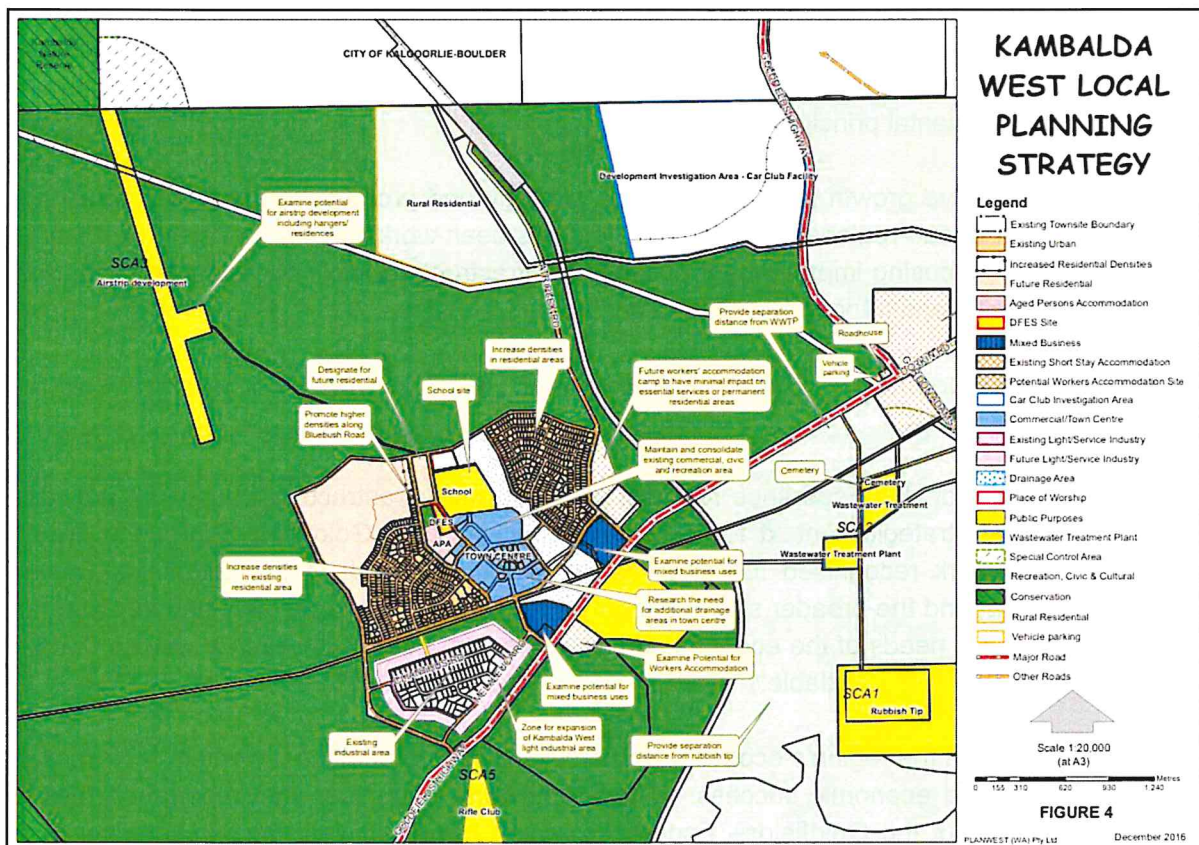


Figure 5 - Local Planning Strategy

The Shires Local Planning Strategy was endorsed by WAPC in October 2016. This plan provides a guide for the Council over the next 10-15 years and includes setting out the future path for growth and development. The Strategy supports the expansion of the commercial area with the town centre.

The Shire Local Planning Strategy identifies that the area of land between Salmon Gums Road and Bluebush Road is not required for recreation. The Council has determined that this area of about 3.5 hectares would be more appropriate for medium density residential development up to R40 density. There is an abundance of undeveloped recreation and drainage areas throughout the town. The Council is keen to concentrate its facilities and recreation land holdings into fewer, but better serviced, areas and has determined that the recreation area between Salmon Gums Road and Bluebush Road is not part of its overall recreation needs. Bluebush Road is identified as a location to promote higher densities.

The development under the Strategy, Kambalda West will continue to provide modern and efficient services to meet the district service centre role and will be supported as the focus of recreation, administration, commercial and residential development for the Shire and District.

The key strategies for the Townsite include

- Recognise Kambalda West, Kambalda East, and Coolgardie as key settlements where urban development would be supported and be consolidated as the centres for cultural, recreation, business, social and administrative uses.
- Expansion of the commercial area and creating new mixed business in Kambalda West
- Ensure that a variety of lifestyles are achievable throughout the Shire by providing a range of different lot sizes and residential uses,
- Maintain an ongoing working relationship with the essential service agencies
- Allocate adequate land in key settlements to cater for employment opportunities
- Provide for mining camp sites to be established within easy access to services and supply outlets of key settlements.
- Maintain a close working relationship with mining operators to ensure that their planning takes due consideration of existing settlement environments.

## 5.2 Shire of Coolgardie – Local Planning Scheme No 5

The sites are zoned Public Purpose, Special Use and Public Open Space under LPS5. This limits the development of the site. Commercial or Tourism developments would not be considered consistent with the objectives of the zone. On this basis, it is proposed to rezone the site to a Commercial zone.

Development with the Commercial zone would generally be in accordance with Scheme provisions and subject to variations which may be approved by the Local Government.

Common themes of the planning framework and their implications for the Amendment include:

- promoting vibrant activity centres and in particular promoting commercial development in the Kambalda town centre.
- supporting local communities and local economies.
- Kambalda is classified as a regional centre.
- various strategies identify the site as part of the town centre and allocate it as for commercial, retail, or central business uses; and
- 





This Amendment is consistent with the planning framework and consistent with the principles of orderly and proper planning.

### 5.3 Heritage

#### 5.3.1 State Heritage listing

A desktop search has been undertaken on various data bases and records, the site and existing the buildings do not have any heritage listing or significance.

#### 5.3.2 Aboriginal Heritage listing

There is no registered Aboriginal heritage site on the subject land area as set out on the Department of Aboriginal Affairs heritage inquiry system.

## 6 SITE ANALYSIS & DEVELOPMENT

### 6.1 Infrastructure

The sites are currently serviced via the following infrastructure.

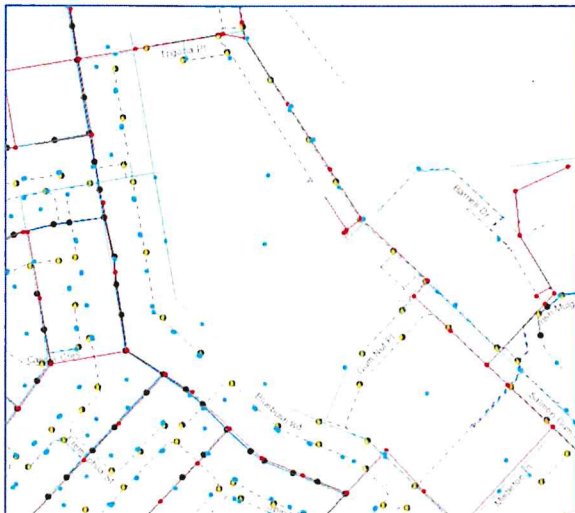


Figure 6 - Existing Infrastructure



Figure 7 - Aerial map infrastructure

#### 6.1.1 Power

The site is serviced by Western Power lines to the property boundary via a connection on Salmon Gum Road, as shown on Figure 6

#### 6.1.2 Water

The site is serviced by a reticulated water services managed and operated by Water Corporation, as shown on Figure 6





### 6.1.3 Sewerage

The site is connected to the reticulated town sewerage system which is operated by Water Corporation. as shown on Figure

### 6.1.4 Communication

The site is well serviced by mobile coverage in the townsite.

## 6.2 Traffic and Access

Vehicle access provided to the sites from the adjoining roads. The adjoining roads are classified as Local Access roads under the Main Roads

## 6.3 Environmental Impacts

The Amendment will create no environmental impacts.

## 6.4 Development Opportunities

The site is appropriately located to facilitate development a range of uses including workers accommodation. The current zoning limits development on this strategically located site. Broadening the range of uses on this site is therefore a priority to facilitate appropriate and compatible development within the townsite.

## 7 CONCLUSION

The Shire of Coolgardie is experiencing a significant challenge in addressing the availability of suitably land that supports commercial, accommodation, tourism activities. The subject land has been identified through the Shire local planning strategy as a site capable of supporting a range of uses with development opportunities to use for commercial purposes in the heart of the Kambalda West Townsite.

Investigations have identified that the single use identified in the zone unreasonably restrict compatible development surrounding the townsites. Such development restrictions are considered to negatively impact on the subject sites and surrounding area.

The Shire is committed to facilitate appropriately zoned land that delivers economic, employment, lifestyle, social, and environmental benefits and sustainability to the community and businesses. The objectives contained within the Scheme and Local Planning Strategies, aim to develop and enhance the amenity and economic prosperity of the Shire and facilitate the release of suitably zoned and unconstrained land for development

This scheme amendment proposes to increase the range of uses which reflect the location of the site in the centre of the townsite.



The Shire of Coolgardie Local Planning Strategy identifies land in close proximity of the town as having potential for development of a non-residential nature that enhances the growth and sustainability of the townsites.

It is therefore recommended that the WAPC support this amendment to Local Planning Scheme No 5 to rezone the site Commercial Zone to reflect its town-centre location,



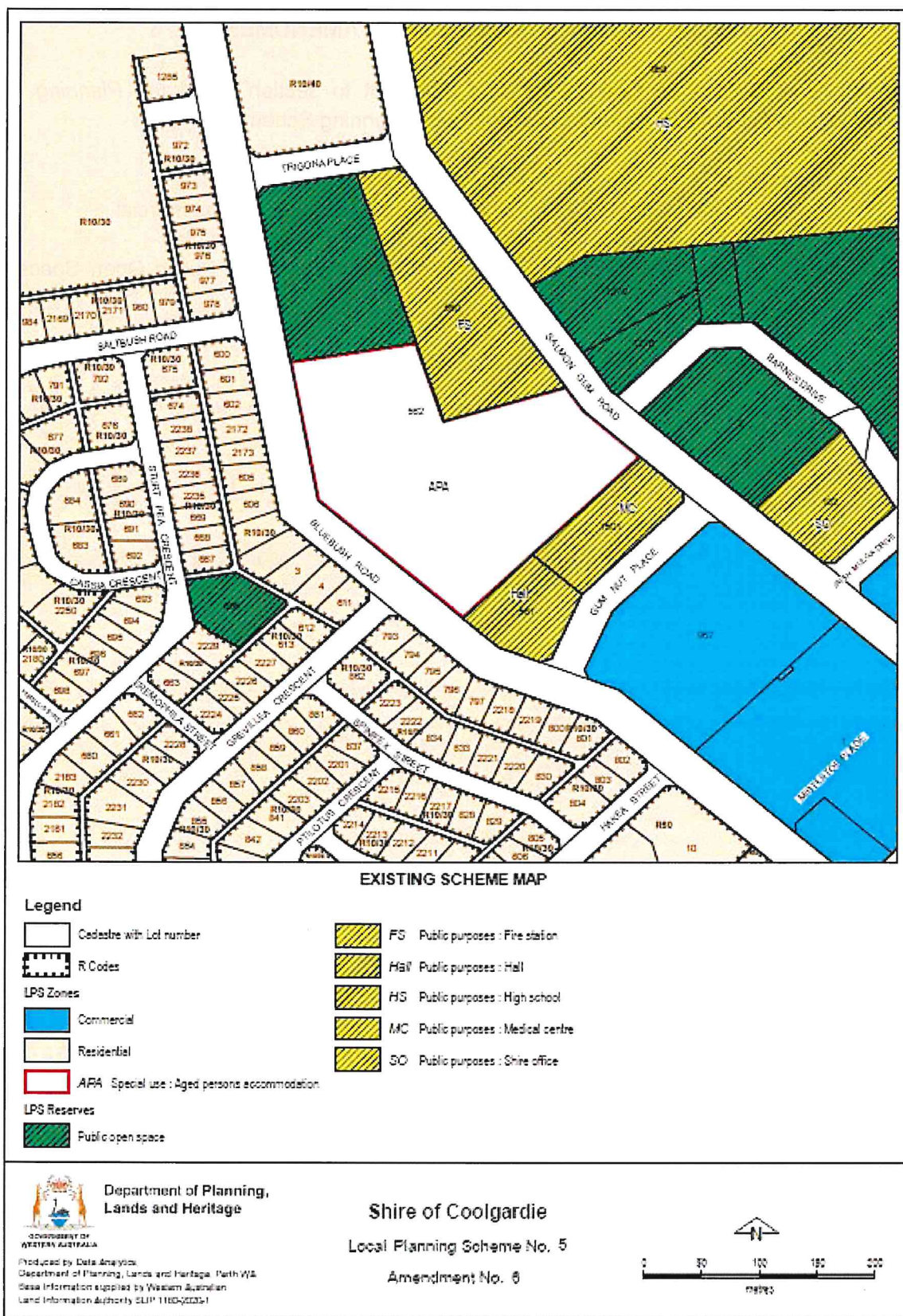
**PLANNING AND DEVELOPMENT ACT 2005 (AS AMENDMENT)**  
**SHIRE OF COOLGARDIE**  
**LOCAL PLANNING SCHEME NO 5 - AMENDMENT NO 6**

The Shire of Coolgardie Council resolved, pursuant to section 75 of the *Planning and Development Act 2005*, to amend the above Local Planning Scheme by:

1. Reclassify
  - a. Lot 1501 Gum Nut Place and from Public Purpose to Commercial
  - b. Lot 561 Bluebush Road from Public Purpose to Commercial
  - c. Lot 562 Salmon Gum Road, from Special Use and Public Open Space to Commercial
2. Modify the Scheme Map accordingly



## EXISTING ZONING MAP





## PROPOSED ZONING MAP



### PROPOSED SCHEME AMENDMENT MAP

### Legend

-  Cadastre with Lot number
- LPS Zones and Reserves Amendments**
-  Commercial



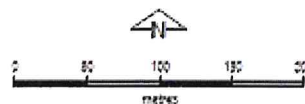
Department of Planning,  
Lands and Heritage

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Land Information Authority SLIP 1180-2003-1

Shire of Coolgardie

Local Planning Scheme No. 5

Amendment No. 6





### COUNCIL ADOPTION

This Standard amendment was adopted by resolution of the Shire of Coolgardie at the Ordinary Meeting of the Council held on the day of **26 October 2021**

  
\_\_\_\_\_  
SHIRE PRESIDENT  
\_\_\_\_\_  
CHIEF EXECUTIVE OFFICER

### COUNCIL RESOLUTION TO ADVERTISE

BY RESOLUTION of the Council of the Shire of Coolgardie at the Ordinary Council Meeting of the Council held on the 26... day of October 2021 to advertise this amendment.

  
\_\_\_\_\_  
SHIRE PRESIDENT  
\_\_\_\_\_  
CHIEF EXECUTIVE OFFICER

### COUNCIL RECOMMENDATION

This Standard Amendment is recommended for APPROVAL by resolution of the Shire of Coolgardie at the Ordinary Meeting of the Council held on the ..... day of ..... and the Common Seal of the Shire of Coolgardie was hereunto affixed by authority of a resolution of the council in the presence of:

  
\_\_\_\_\_  
SHIRE PRESIDENT  
\_\_\_\_\_  
CHIEF EXECUTIVE OFFICER



**WAPC RECOMMENDED / SUBMITTED FOR APPROVAL**

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DELEGATED UNDER s.16 OF THE PLANNING AND DEVELOPMENT AT (2005)

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DATE

**APPROVAL GRANTED**

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MINISTER FOR PLANNING

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DATE



